



Calusa at Timberline Village

Type W 4-Plex Lots 4-7 Urbandale, IA 50323

Construction Manager:

JCorp, Inc

1680 SW Ankeny Rd #2D Ankeny, IA 50023 Phone: (515) 587-5457

Civil Engineer:

Civil Design Advantage, LLC

3405 SE Crossroads Drive, Suite G, Grimes, IA Phone: (515) 369-4400, Fax: (515) 369-4410



1680 SW Ankeny Rd #2D
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WINDOW SCHEDULE

MARK	TYPE	UNIT COUNT	UNIT WIDTH	UNIT HEIGHT	ROUGH OPENING	QUANTITY
A	SINGLE HUNG	DOUBLE	3'-0"	5'-0"		4
B	FIXED	SINGLE	3'-0"	3'-0"		3
C	SINGLE HUNG	DOUBLE	3'-0"	6'-0"		4
D	SINGLE HUNG	DOUBLE	4'-0"	6'-0"		2
E	SINGLE HUNG	SINGLE	3'-0"	5'-0"		22
F	SINGLE HUNG	SINGLE	3'-0"	6'-0"		4

DOOR SCHEDULE

MARK	SIZE	HEIGHT	ROUGH OPENING	QUANTITY	HARDWARE GROUP	REMARKS
D1	3'-0"	6'-8"		4	1	1
D2	2'-8"	6'-8"		4	1	
D3	16'-0"	7'-0"		4		2
D4	2'-8"	6'-8"		8	3	
D5	5'-0"	6'-8"		8	3	
D6	3'-0"	6'-8"		4		3
D7	3'-0"	6'-8"		4	1	1
D8	2'-8"	6'-8"		20	2	
D9	5'-0"	6'-8"		4	3	1

NOTES:

- DOOR TO BE INSULATED, 20 MIN. RATED PANEL, 20 MIN. RATED FRAME
- OVERHEAD GARAGE DOOR
- POCKET DOOR

DOOR HARDWARE SCHEDULE

GROUP 1: ENTRY	GROUP 2: BED/BATH	GROUP 3: INTERIOR DOORS
KEYED CYLINDER DEADBOLT SILL SWEEP WEATHERSTRIP BUMPER CLOSER	PRIVACY LOCKSET HINGES BUMPER	PASSAGE HANDLE BUMPER CLOSER

ABBREVIATIONS

@	AT
AFF	ABOVE FINISHED FLOOR
ALLOW	ALLOWABLE
ALUM	ALUMINUM
B/	BOTTOM OF
CJ	CONTROL JOINT
CLG	CEILING
CONC	CONCRETE
CPT	CARPET
CS	CONCRETE, SEALED
CT	CERAMIC TILE
DN	DOWN
DS	DOWNSPOUT
EQ	EQUAL
EQUIP	EQUIPMENT
EW	EACHWAY
EXST	EXISTING
FD	FLOOR DRAIN
FDN	FOUNDATION
FO	FACE OF
FTG	FOOTING
GB	GRAB BAR
GL	GLASS
GWB	GYPSUM WALL BOARD
HDWR	HARDWARE
HM	HOLLOW METAL
INSUL	INSULATION
MANFR	MANUFACTURER
MATL	MATERIAL
MAX	MAXIMUM
MECH	MECHANICAL
MIN	MINIMUM
MIR	MIRROR
MTL	METAL
NA	NOT APPLICABLE
NOM	NOMINAL
OC	ON CENTER
OP HND	OPPOSITE HAND
OPT	OPTIONAL
OVHD	OVERHEAD
PL	PROPERTY LINE
PT	PRESSURE TREATED
PTD	PAINTED
R	RADIUS
RCP	REFLECTED CEILING PLAN
REF	REFERENCE
RMV	REMOVE
RQD	REQUIRED
SCH	SCHEDULE
SGWB	SUSPENDED GWB
SND	SANITARY NAPKIN DISPOSAL
STR	STRUCTURE
T	TEMPERED
T&G	TOUNGE AND GROVE
TF	TOP OF
TTD	TOILET TISSUE DISPENSER
TYP	TYPICAL
VCT	VINYL COMPOSITION TILE
W	WIDTH
W/	WITH
WD	WOOD

GENERAL NOTES

- Refer to Mechanical, Electrical and Plumbing notes for additional information or requirements.
- Verify existing conditions before fabrication or prior to proceeding with the work and notify the Architect / Structural Engineer immediately of significant discrepancies.
- All thru wall masonry flashing to be above grade/sod/paving.
- Caulk & seal all control/expansion joints at all interior/exterior masonry/concrete.
- Construction Manager to install all flashing, doors, windows & exterior wall coverings in accordance with Sect. R703 per 2018 IRC, and manufacturer's installation specifications.
- Gyp board expansion joints shall be used where required per standard gyp board practice to prevent cracking of drywall.
- Owner/CM to install backing as necessary for handrails, grab bars, gas termination, fire dept terminations, exterior hose bibs, etc.
- Fireblocking to be provided at all floors per Sect. R302.11 per 2018 IRC.
- Draftstopping to be installed per Sect. R302.12 per 2018 IRC.
- Floor assemblies to have minimum fire protection per R302.13 2018 IRC.
- Floor and roof truss manufacturer to coordinate truss layout w/ draftstopping requirements
- Owner/CM to coordinate floor & roof truss layout with Mechanical, Electrical & Plumbing contractors.
- Floor truss manufacturer to coordinate truss web layout w/ Architect & Structural engineer to allow for HVAC duct returns.
- Plumbing & Mechanical contractors to coordinate locations of equipment, meters, & floor drains with Owner/CM.
- Owner/CM to verify compliance of dryer vent distance & elbows with manufacturer recommendations.
- All dimensions are to rough framing U.N.O.

DRAWING SYMBOLS

- | | |
|--|---|
| | 1 WALL TYPE- SEE SHEET G100 |
| | D1 DOOR TAG- SEE DOOR SCHEDULE SHEET A601 |
| | A WINDOW TAG- SEE SHEET A601 |
| | 1 KEYED NOTE |

General

G000 Cover Sheet

A-Series

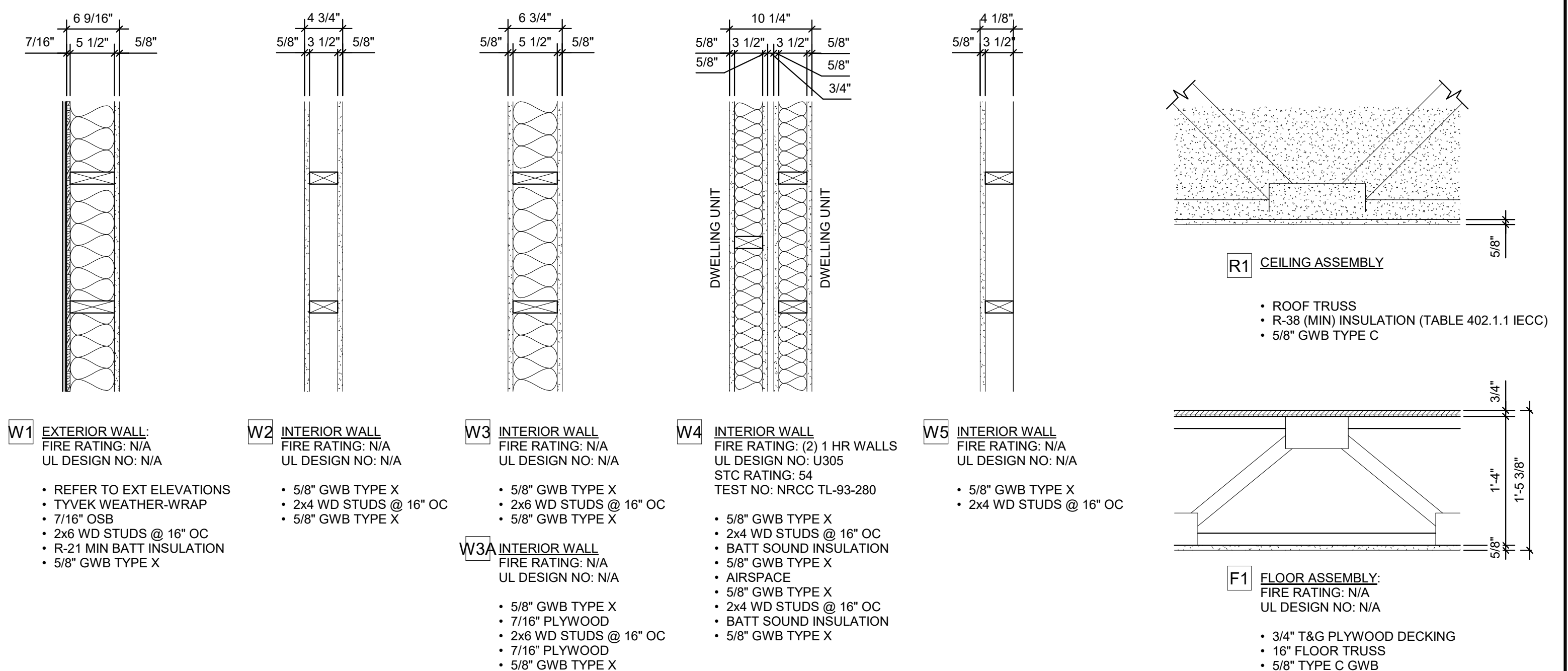
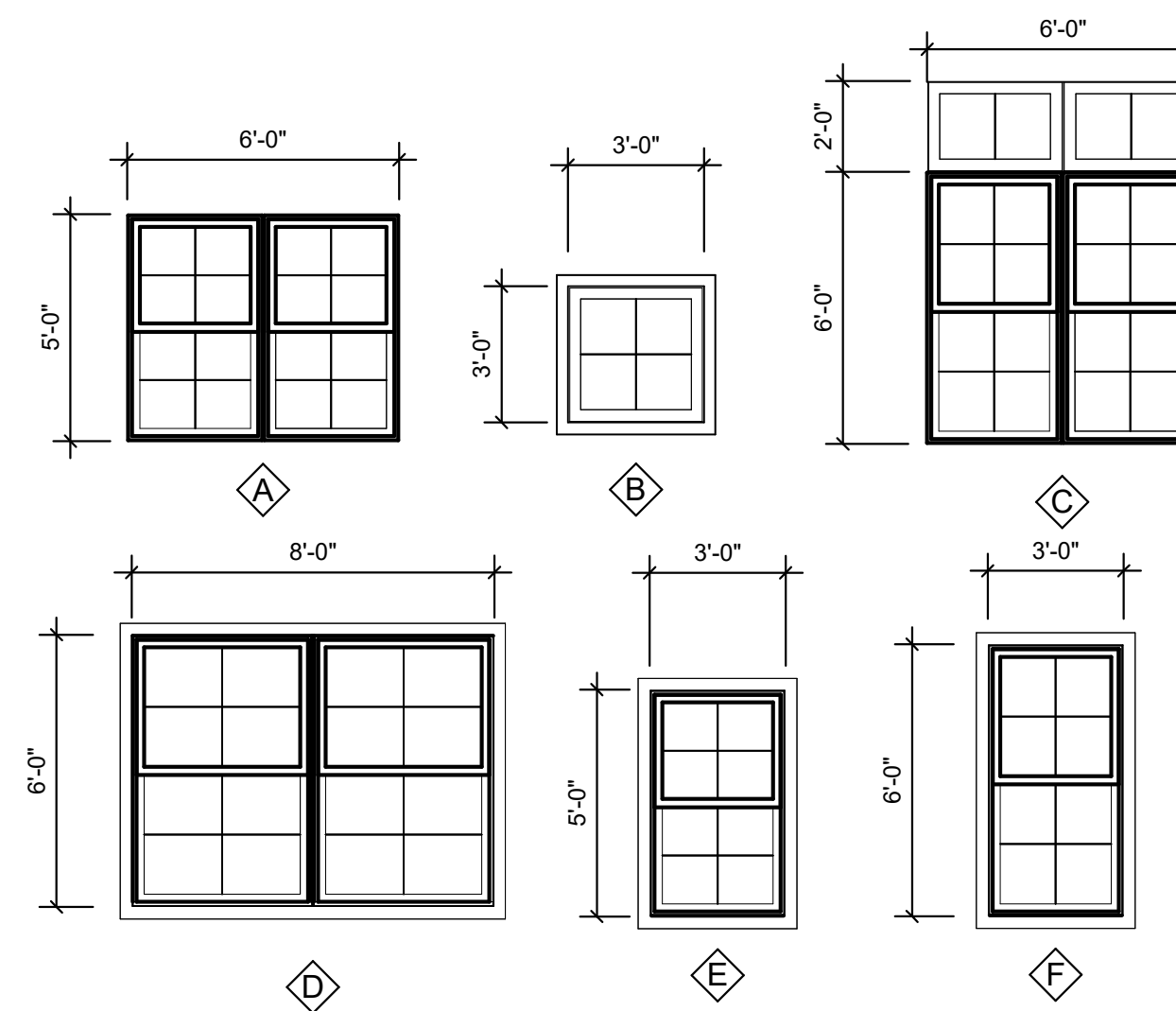
- A101 First Floor Plan
- A102 Second Floor Plan
- A103 Roof Plan
- A201 Elevations
- A202 Elevations
- A301 Sections
- A302 Sections
- A501 Details

S-Series

- S101 Foundation Plan
- S102 Second Floor and Roof Framing Plan

Drawing Log

Issue No.	Date	Purpose



PROJECT:
Calusa at Timberline Village
Type W 4-Plex Lots 4-7
Urbandale, IA 50323

REVISIONS:

- | | |
|---|--|
| 1 | |
| 2 | |
| 3 | |

6 / 18 / 2021

PROJECT NO: 20-046

CONTENTS:

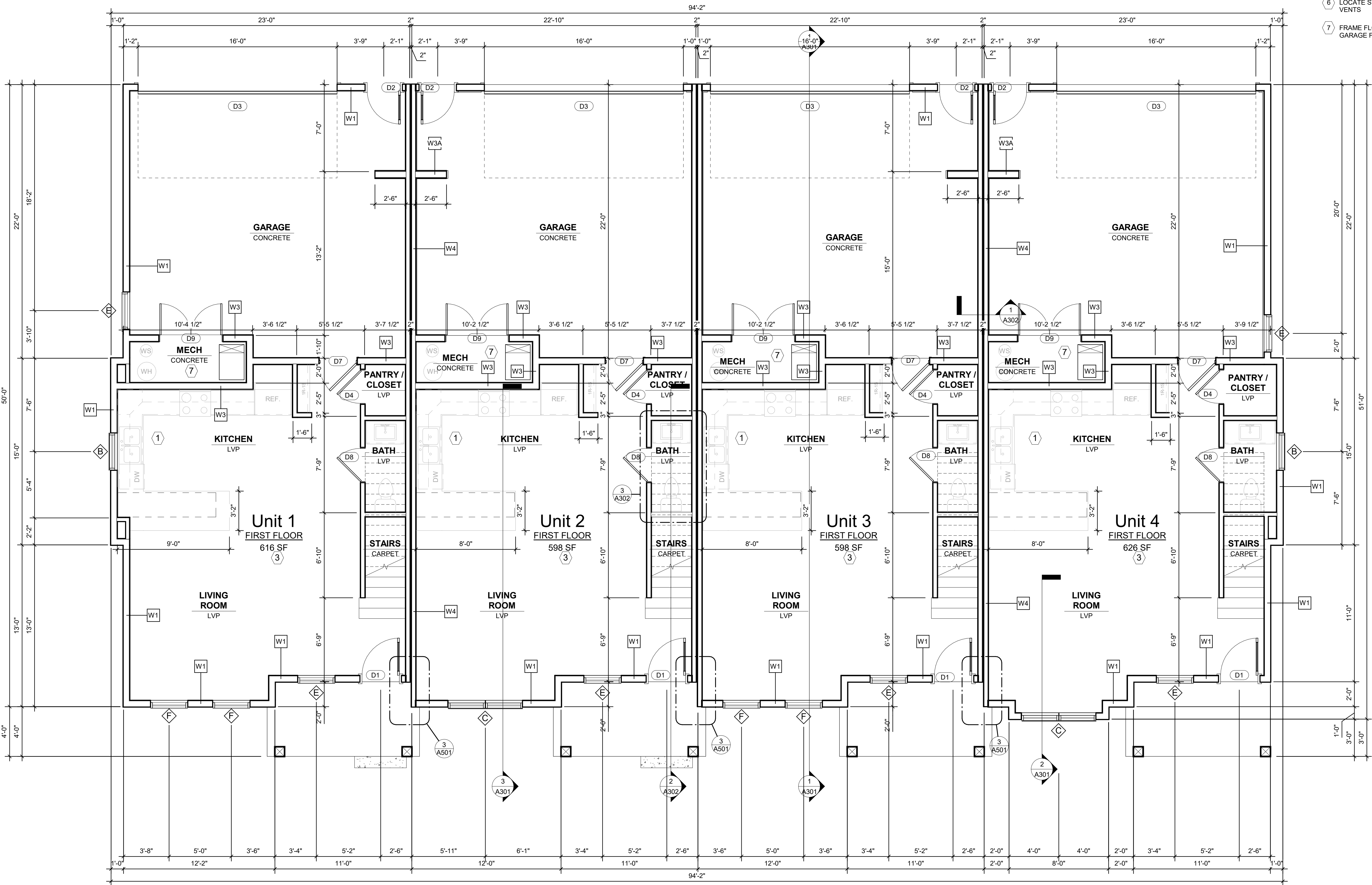
Cover Sheet

SHEET NO:

G000

FLOOR PLAN NOTES

- 1 VERIFY FINAL CABINET LAYOUT WITH OWNER PRIOR TO INSTALLATION
- 2 MIN 22"X30" ATTIC ACCESS HATCH
- 3 ALL INTERIOR UNIT WALLS TO BE WALL TYPE W2 U.N.O.
- 4 PRE-ROCK WITH 5/8" TYPE X GWB WHERE AGAINST A PARTY WALL PRIOR TO PLACING UNITS. PLUMBER TO FULLY GROUT UNDER UNITS WHEN INSTALLED
- 5 SHOWER TO HAVE FIBERGLASS PAN AND TILE WALLS
- 6 LOCATE STUDS TO AVOID PLUMBING BOX AND DRYER VENTS
- 7 FRAME FLOOR OF MECHANICAL CLOSET 18" MIN. ABOVE GARAGE FLOOR



1 1ST FLOOR
SCALE: 1/4" = 1'-0"



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PROJECT: _____

REVISIONS:

1	_____
2	_____
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6 / 18 / 2021

PROJECT NO: 20-046

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First Floor Plan

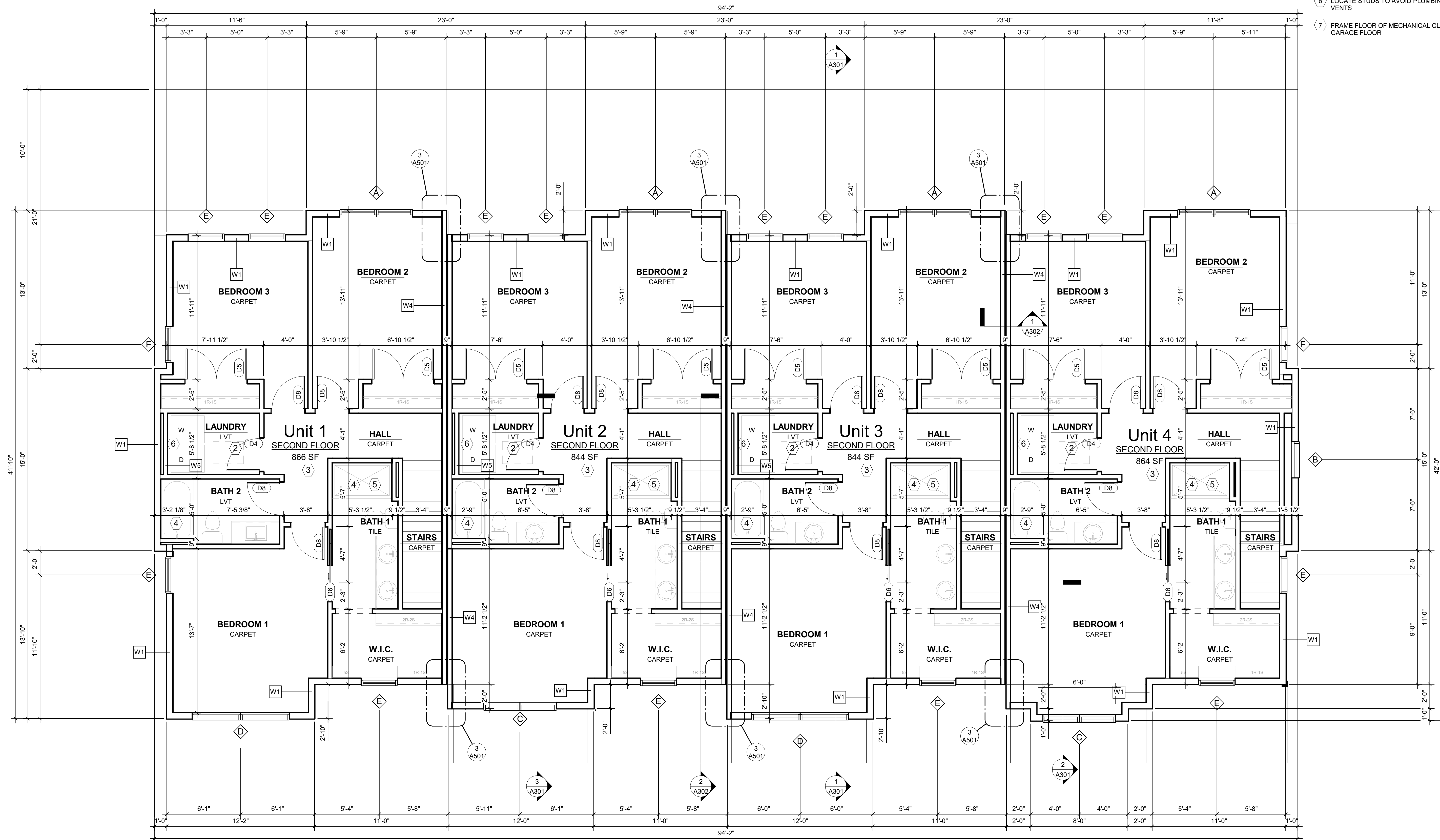
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A101

FLOOR PLAN NOTES

- 1 VERIFY FINAL CABINET LAYOUT WITH OWNER PRIOR TO INSTALLATION
- 2 MIN 22"X30" ATTIC ACCESS HATCH
- 3 ALL INTERIOR UNIT WALLS TO BE WALL TYPE W2 U.N.O.
- 4 PRE-ROCK WITH 5/8" TYPE X GWB WHERE AGAINST A PARTY WALL PRIOR TO PLACING UNITS. PLUMBER TO FULLY GROUT UNDER UNITS WHEN INSTALLED
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1 2ND FLOOR
 SCALE: 1/4" = 1'-0"

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PROJECT:

REVISIONS:

- 1
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6 / 18 / 2021

PROJECT NO: 20-046

CONTENTS:
 Second Floor Plan

SHEET NO:

A102

REVISIONS:

- 1
- 2
- 3

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PROJECT NO: 20-046

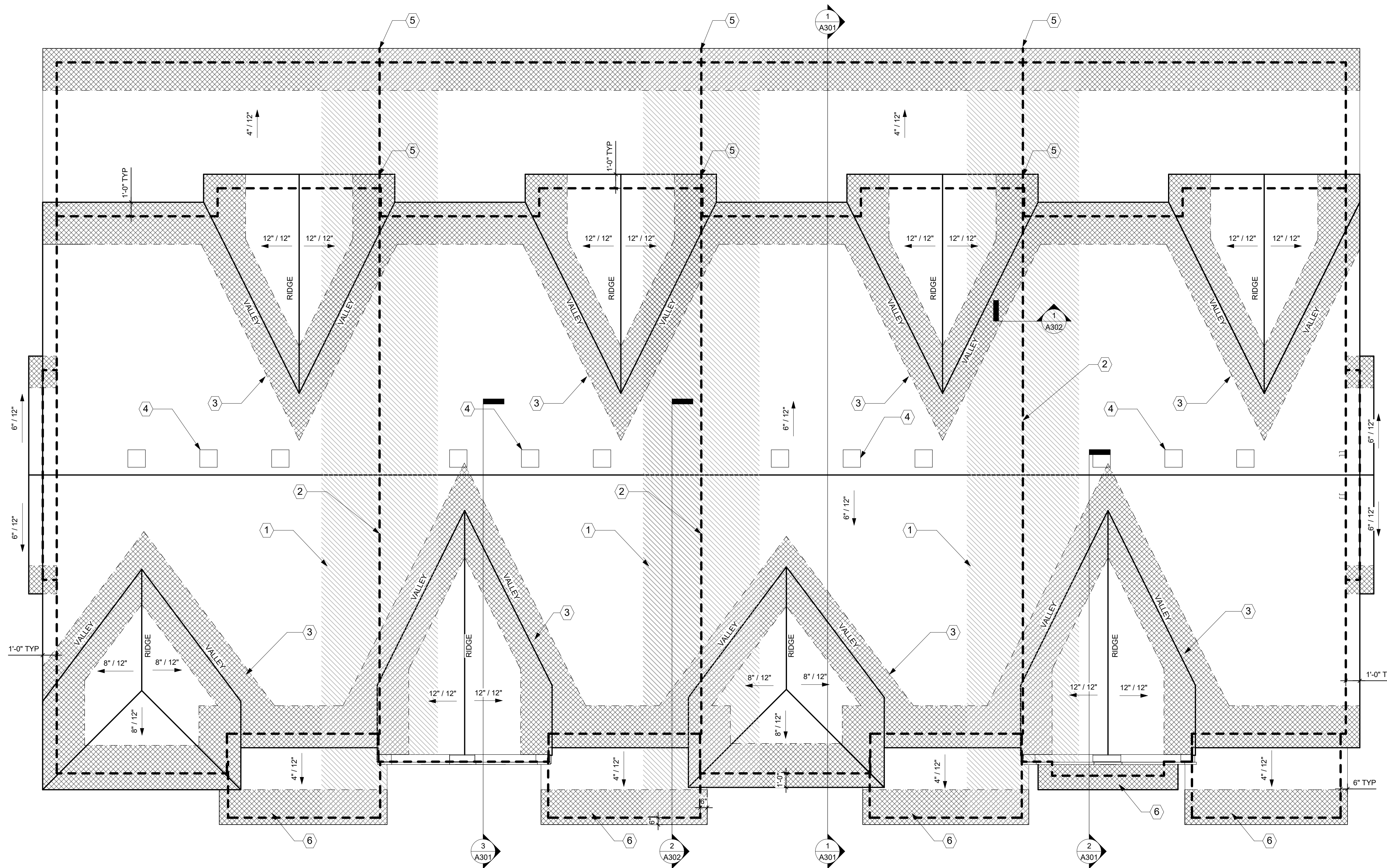
CONTENTS:
Roof Plan

SHEET NO:

A103

ROOF PLAN NOTES

- 1 4'-0" FIRE TREATED PLYWOOD E.W. FROM DEMISING WALLS (NO ROOF PENETRATIONS IN THIS ZONE)
- 2 FIRE SEPARATION WALLS TO CONTINUE TO UNDERSIDE OF ROOF SHEATHING
- 3 PROVIDE 36" ICE AND SNOW BARRIER UNDER ALL VALLEYS AND EAVES
- 4 EVENLY SPACE ROOF VENTS. SIZE AND NUMBER OF VENTS ACCORDING TO ATTIC SIZE. COORDINATE WITH SOFFIT VENTING FOR PROPER AIR MOVEMENT. VENTS SHALL NOT BE PLACED WITHIN AREAS REQUIRING FIRE TREATED SHEATHING.
- 5 FIRE SEPARATION WALLS TO CONTINUE THROUGH CONCEALED SPACES AND ROOF OVERHANGS
- 6 STICK FRAME ROOF



1 Roof Plan
SCALE: 1/4" = 1'-0"

MATERIAL SCHEDULE

- B1 THIN BRICK - WHITE
- R1 ARCHITECTURAL ASPHALT SHINGLES - BLACK
- S1 FIBER CEMENT 7" REVEAL LAP - GREEK VILLA SW7551
- S2 JAMES HARDIE SMOOTH PANEL
- S3 JAMES HARDIE ARTISAN 7" V-GROOVE ASPYRE SIDING - BLACK FOX
- T1 TRIM - SW 7506 LOGGIA
- T2 TRIM - BLACK FOX



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6 FRONT ELEVATION
 SCALE: 1/4" = 1'-0"



5 REAR ELEVATION
 SCALE: 1/4" = 1'-0"

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- 1 _____
- 2 _____
- 3 _____

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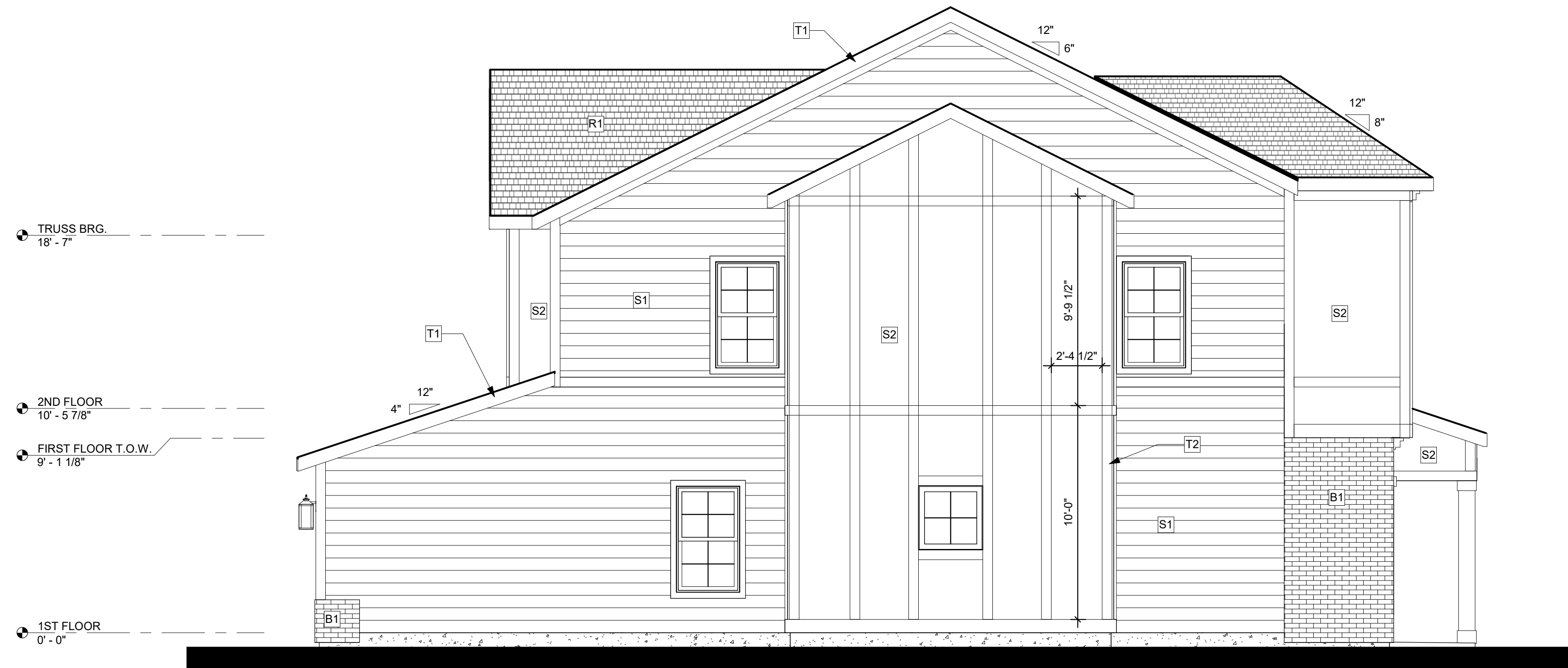
CONTENTS:
 Elevations

SHEET NO:

A201

MATERIAL SCHEDULE

- B1 THIN BRICK - WHITE
- R1 ARCHITECTURAL ASPHALT SHINGLES - BLACK
- S1 FIBER CEMENT 7" REVEAL LAP - GREEK VILLA SW7551
- S2 JAMES HARDIE SMOOTH PANEL
- S3 JAMES HARDIE ARTISAN 7" V-GROOVE ASPYRE SIDING - BLACK FOX
- T1 TRIM - SW 7506 LOGGIA
- T2 TRIM - BLACK FOX



1 LEFT ELEVATION
SCALE: 1/4" = 1'-0"



2 RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



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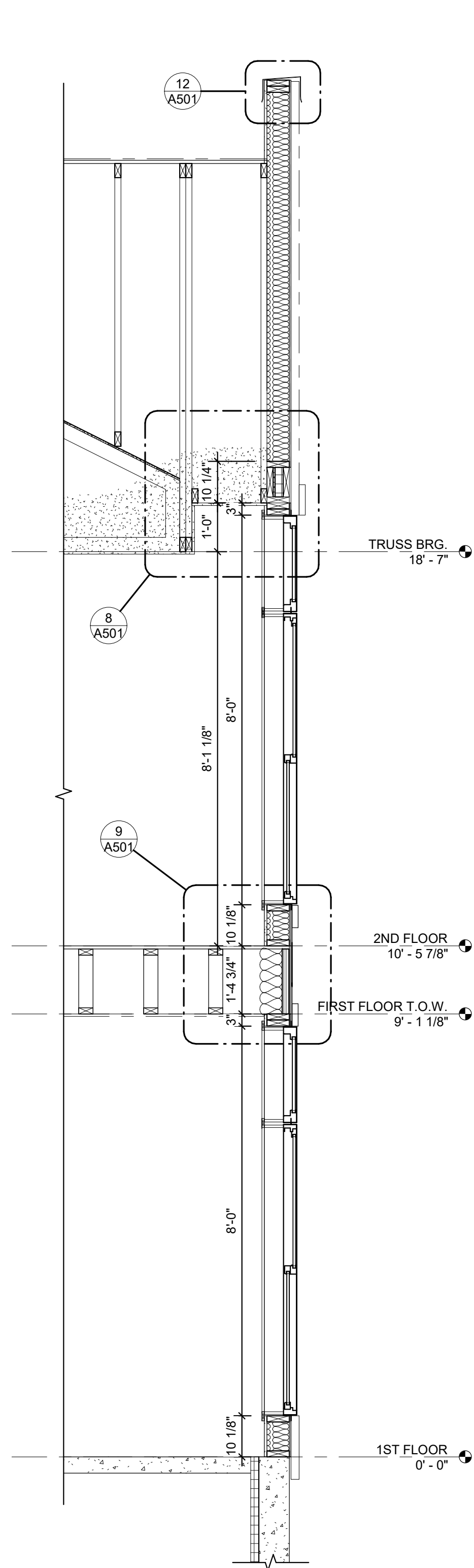
6 / 18 / 2021

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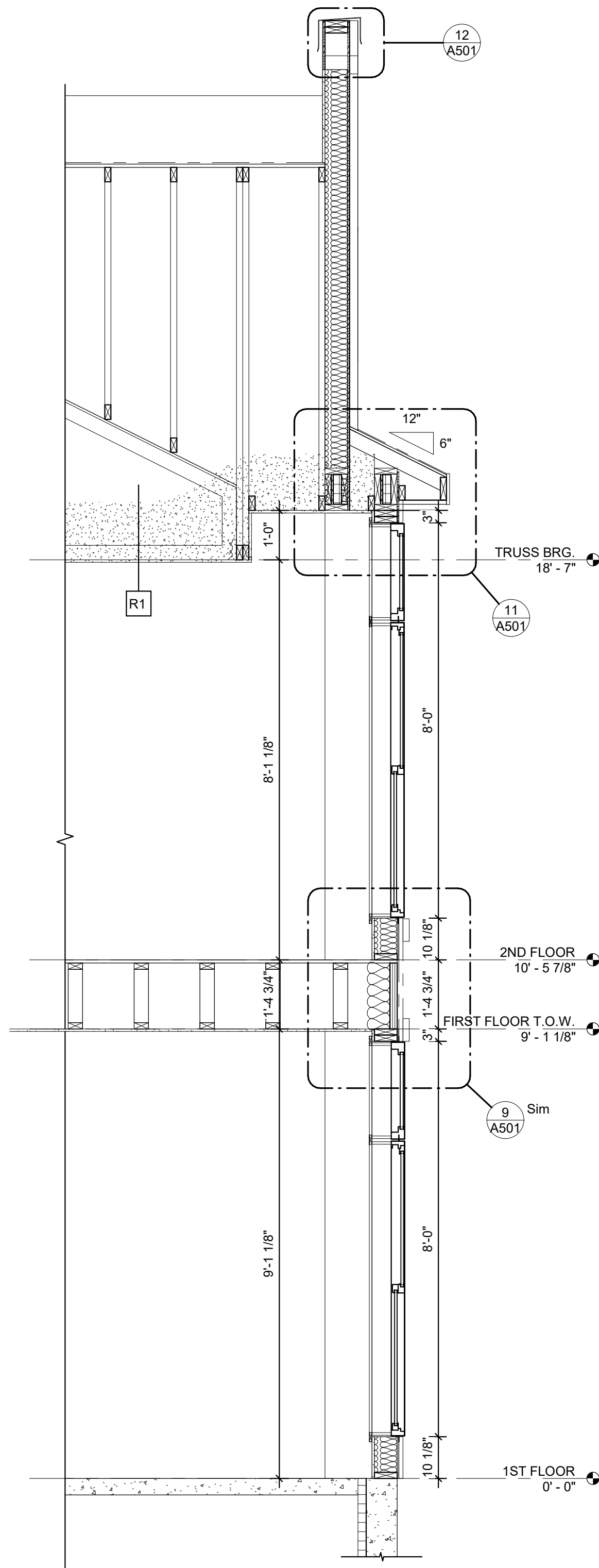
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Elevations

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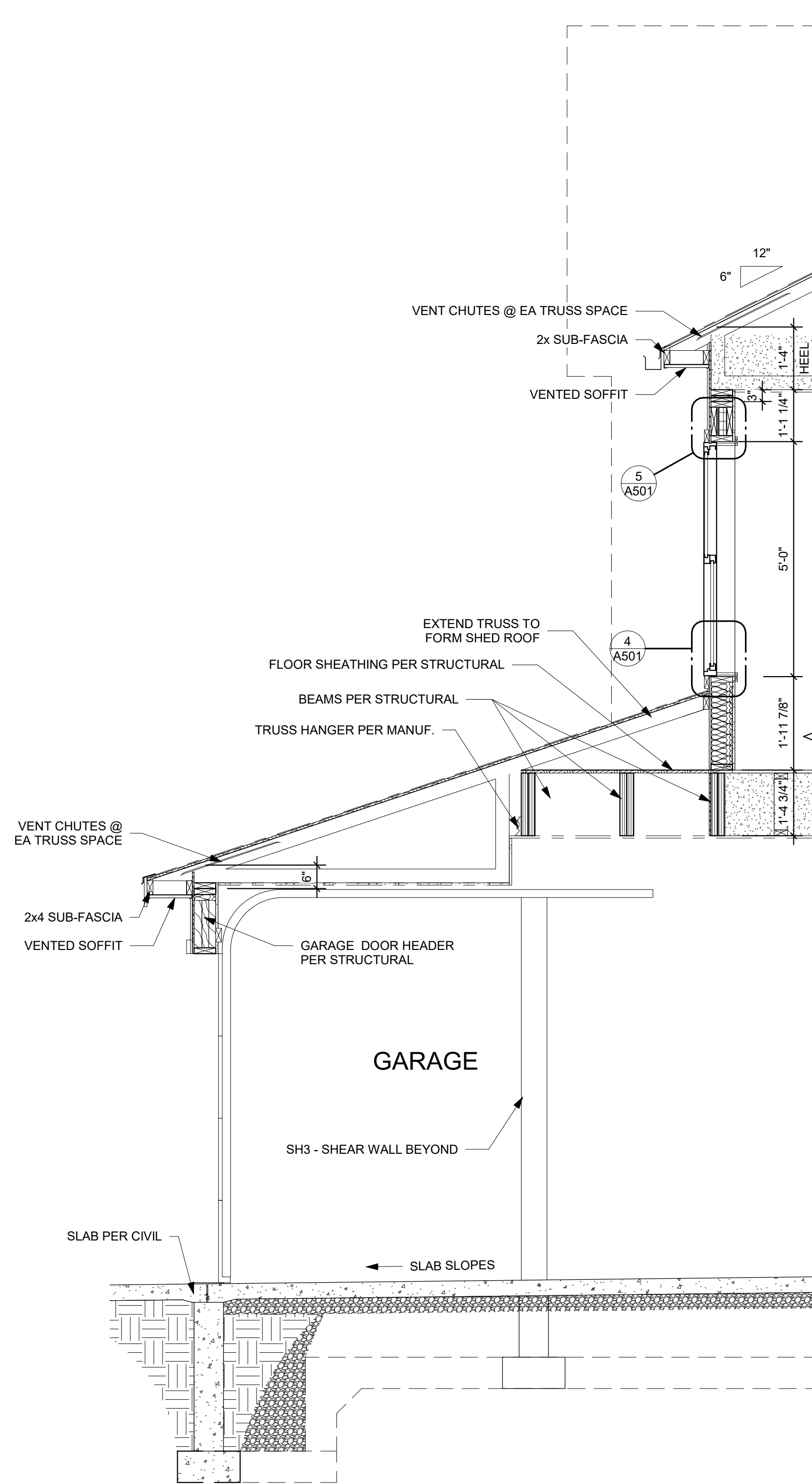
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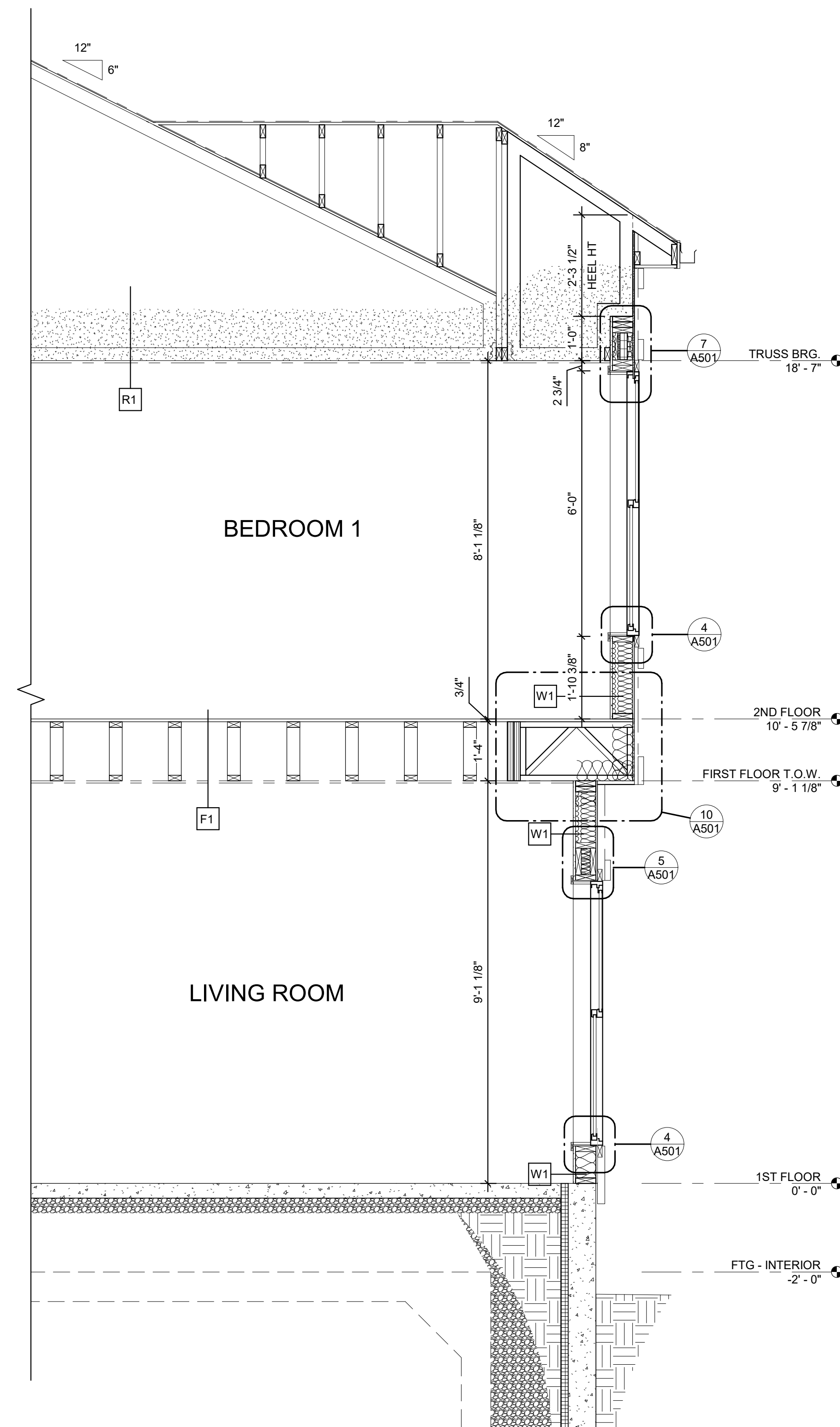
3 Wall Section
 SCALE: 1/2" = 1'-0"



2 Wall Section
 SCALE: 1/2" = 1'-0"



1 Building Section
 SCALE: 1/2" = 1'-0"



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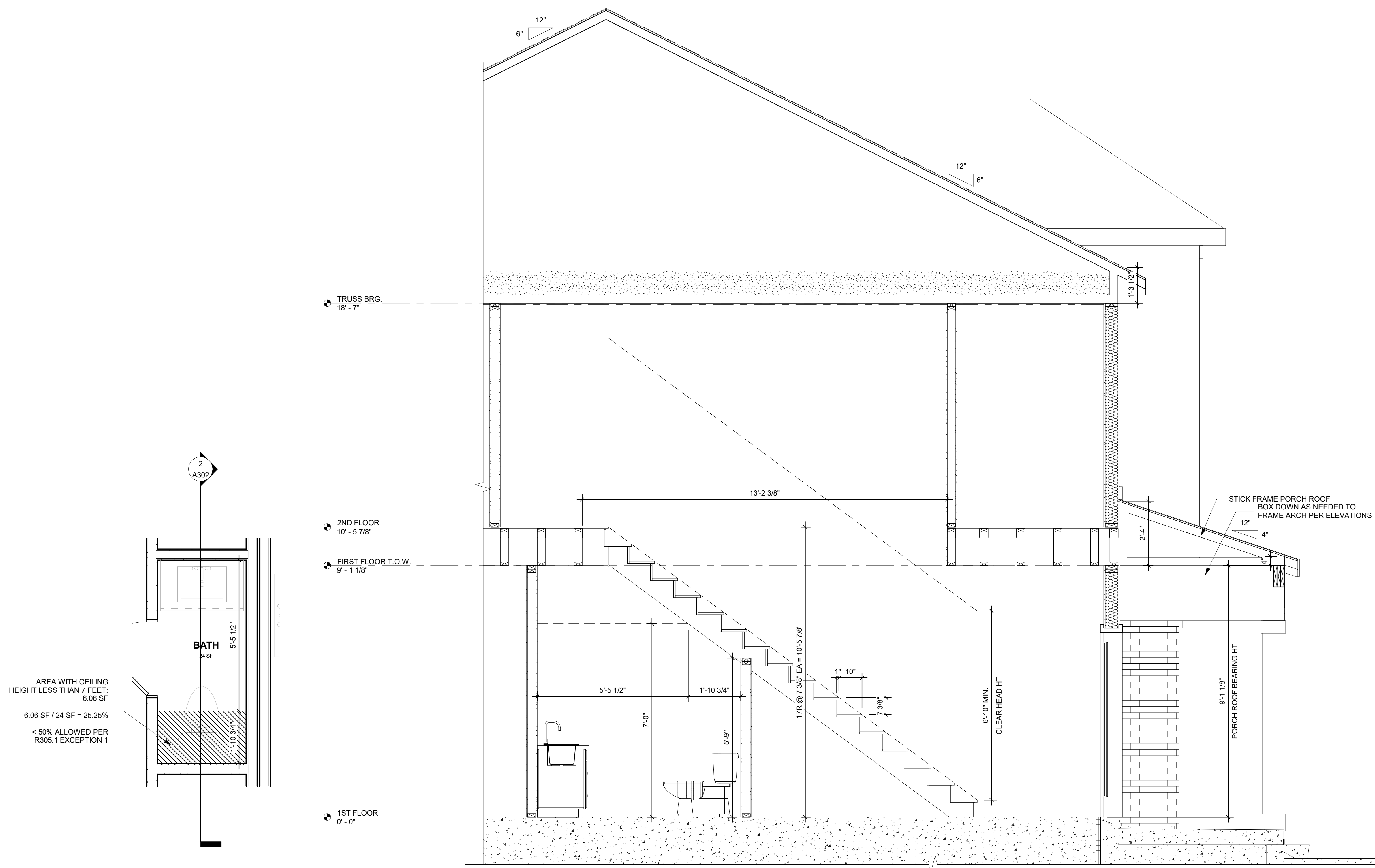
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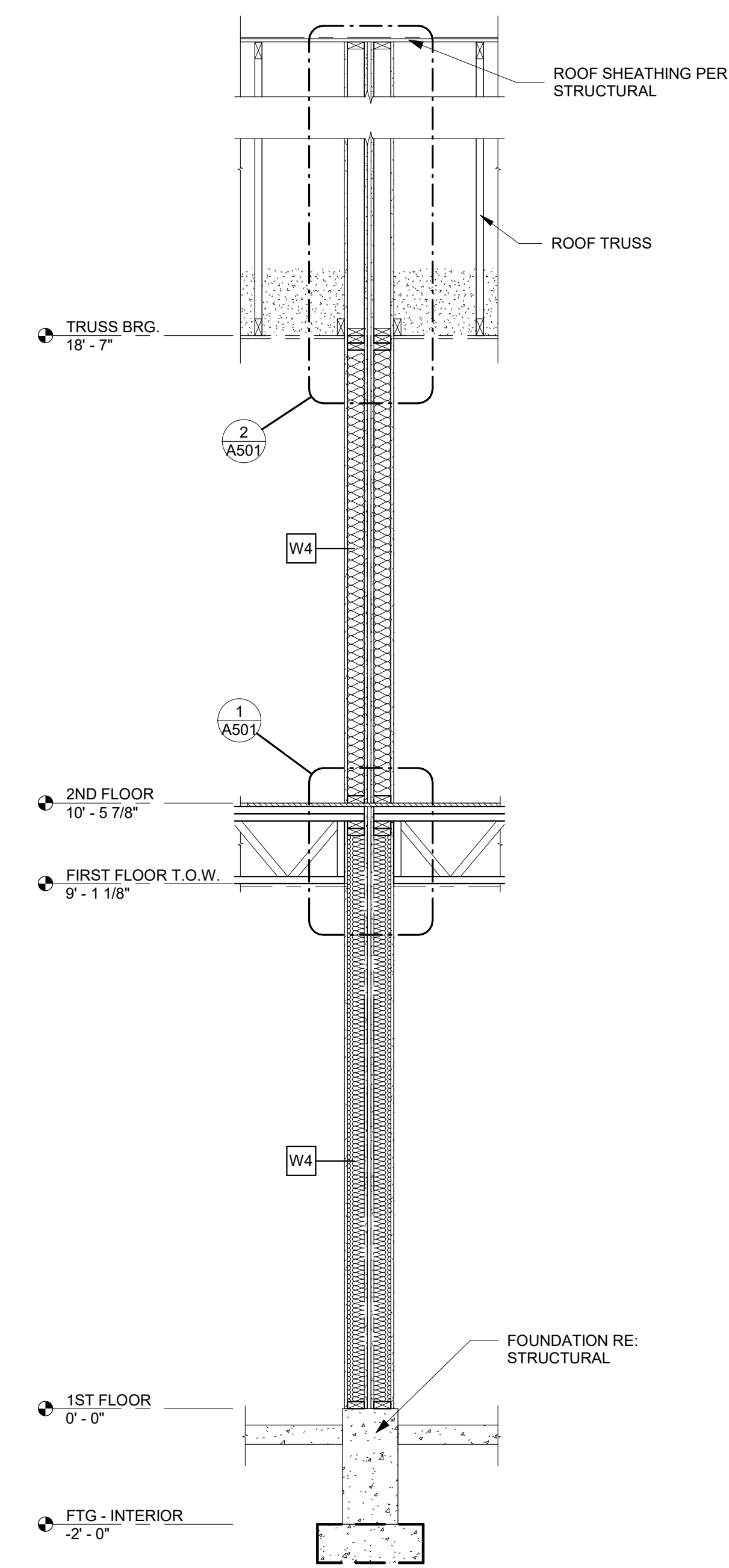
Sections

SHEET NO:

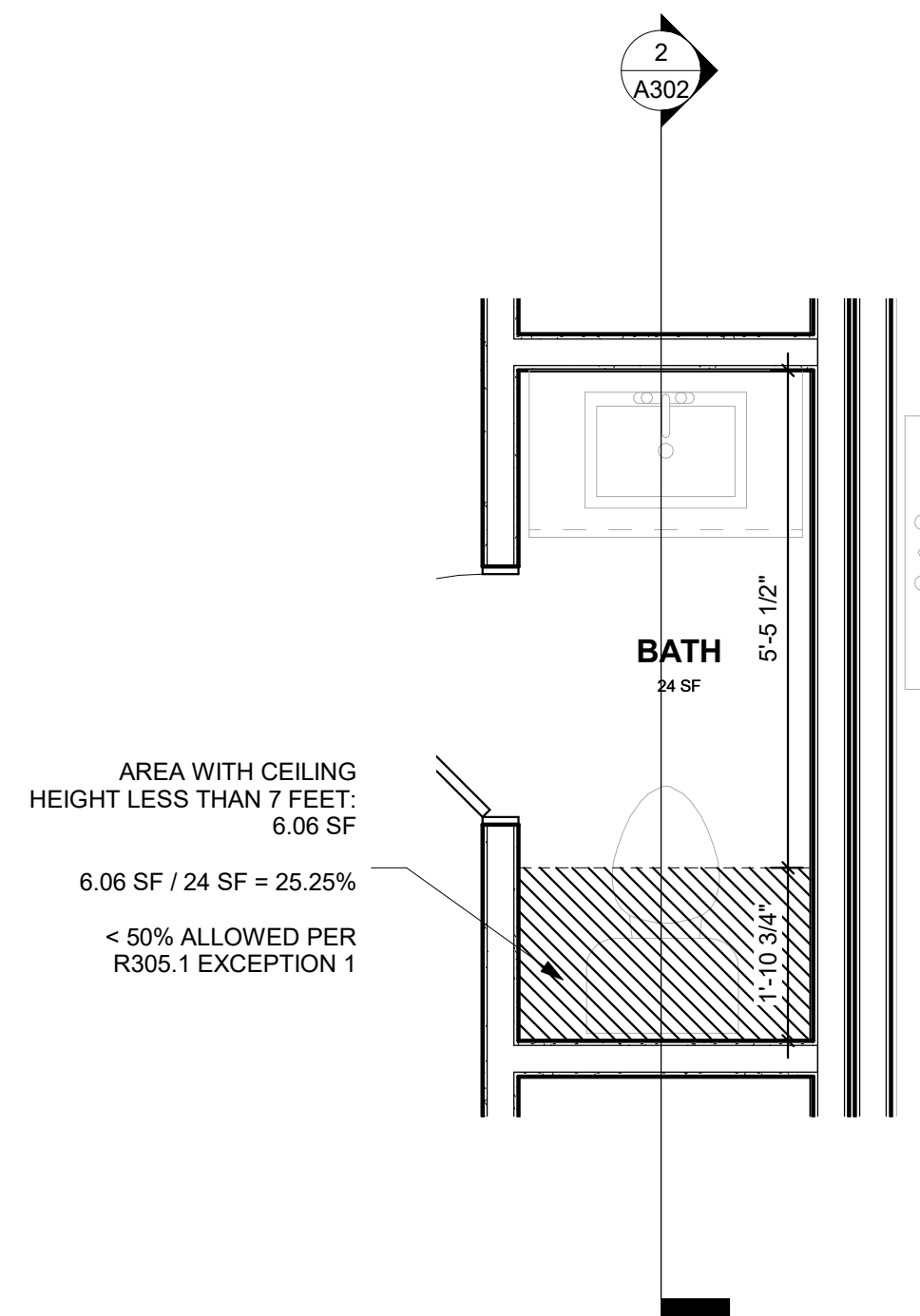
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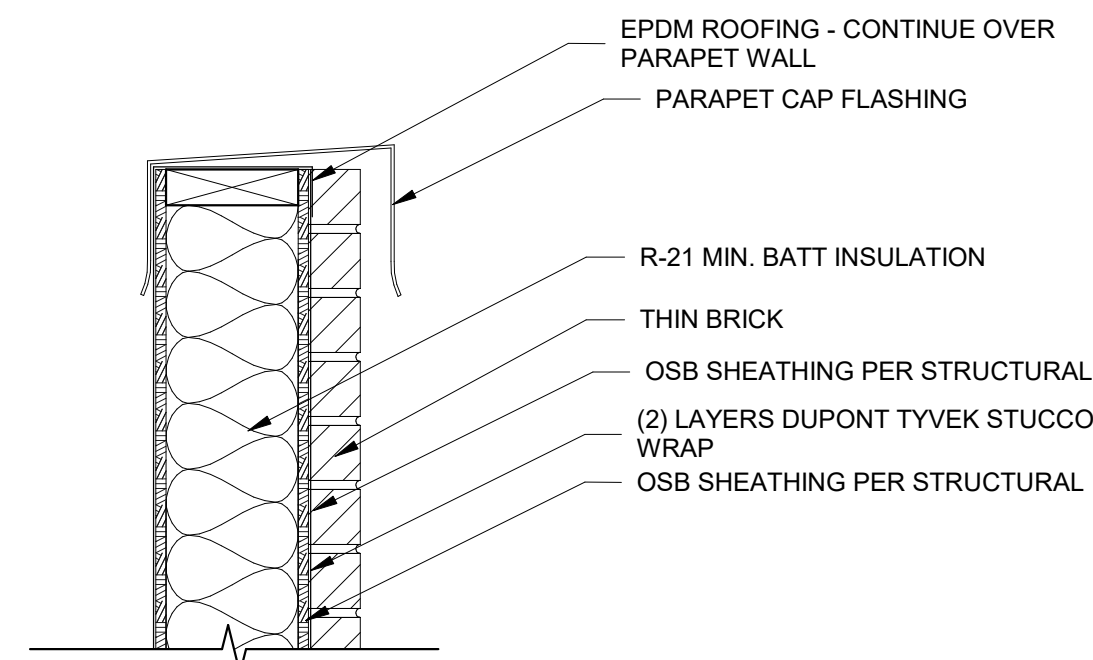
2 Stair Section
 SCALE: 1/2" = 1'-0"



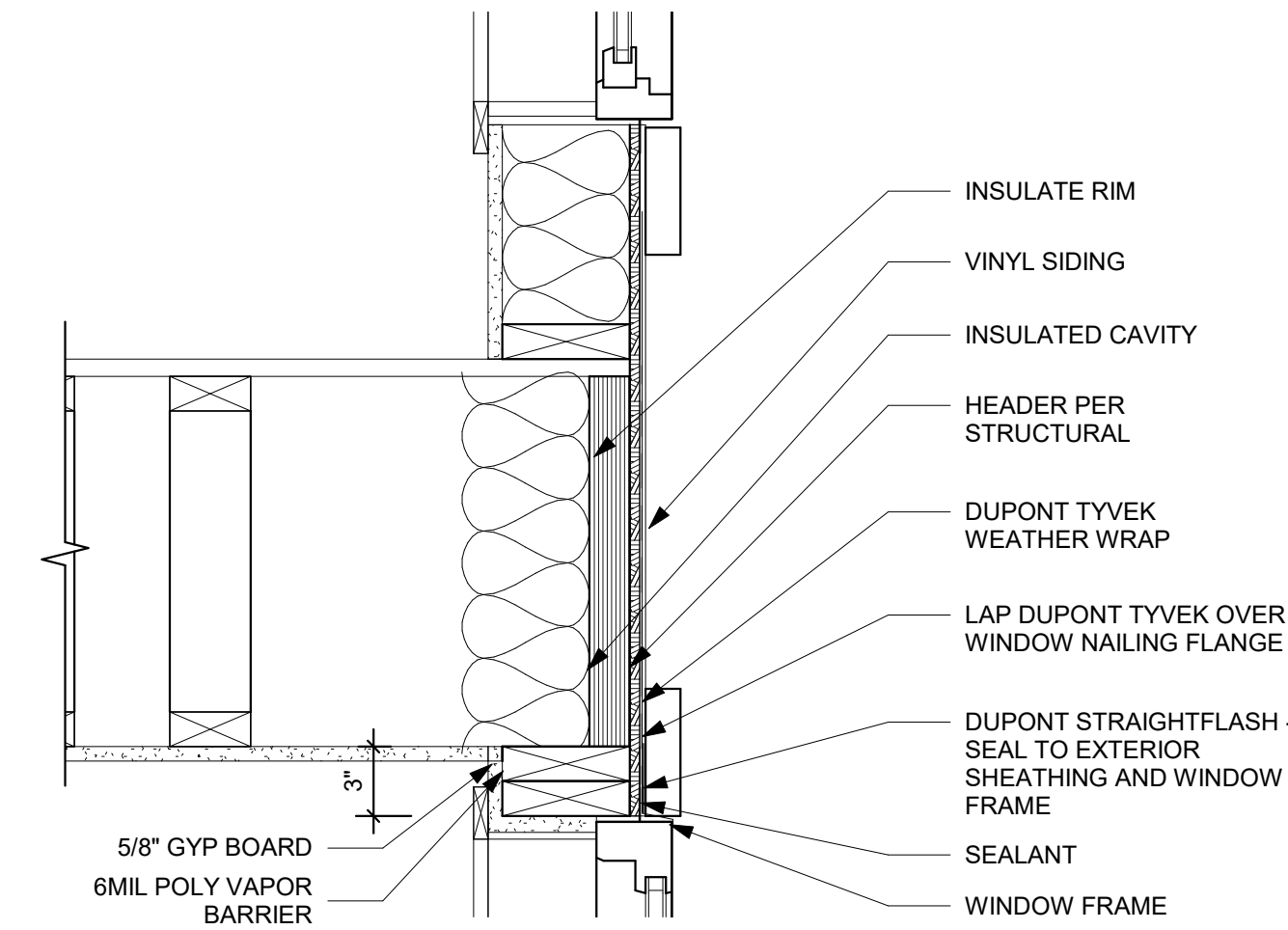
1 Wall Section
 SCALE: 1/2" = 1'-0"



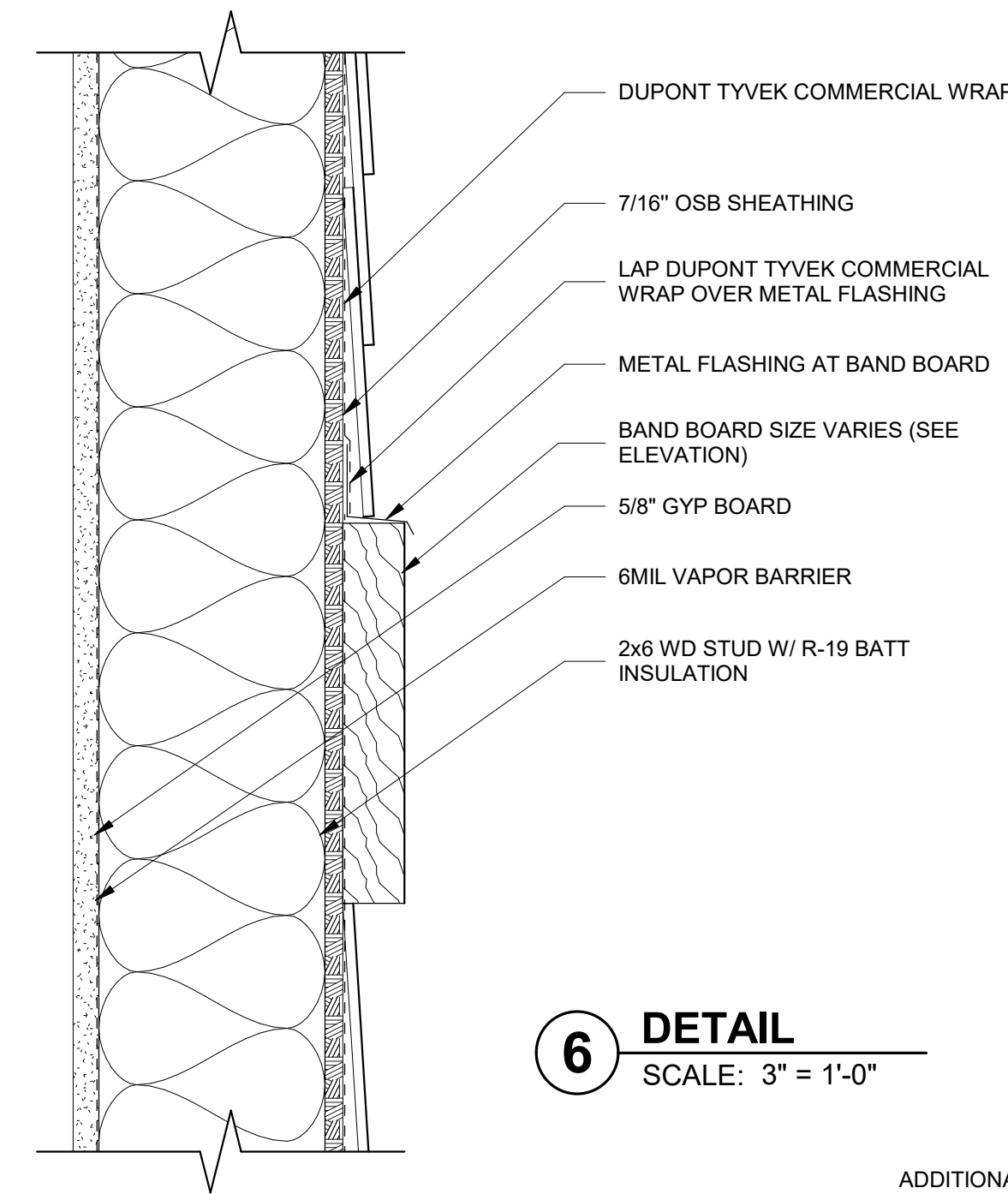
3 Bathroom Detail Plan
 SCALE: 1/2" = 1'-0"



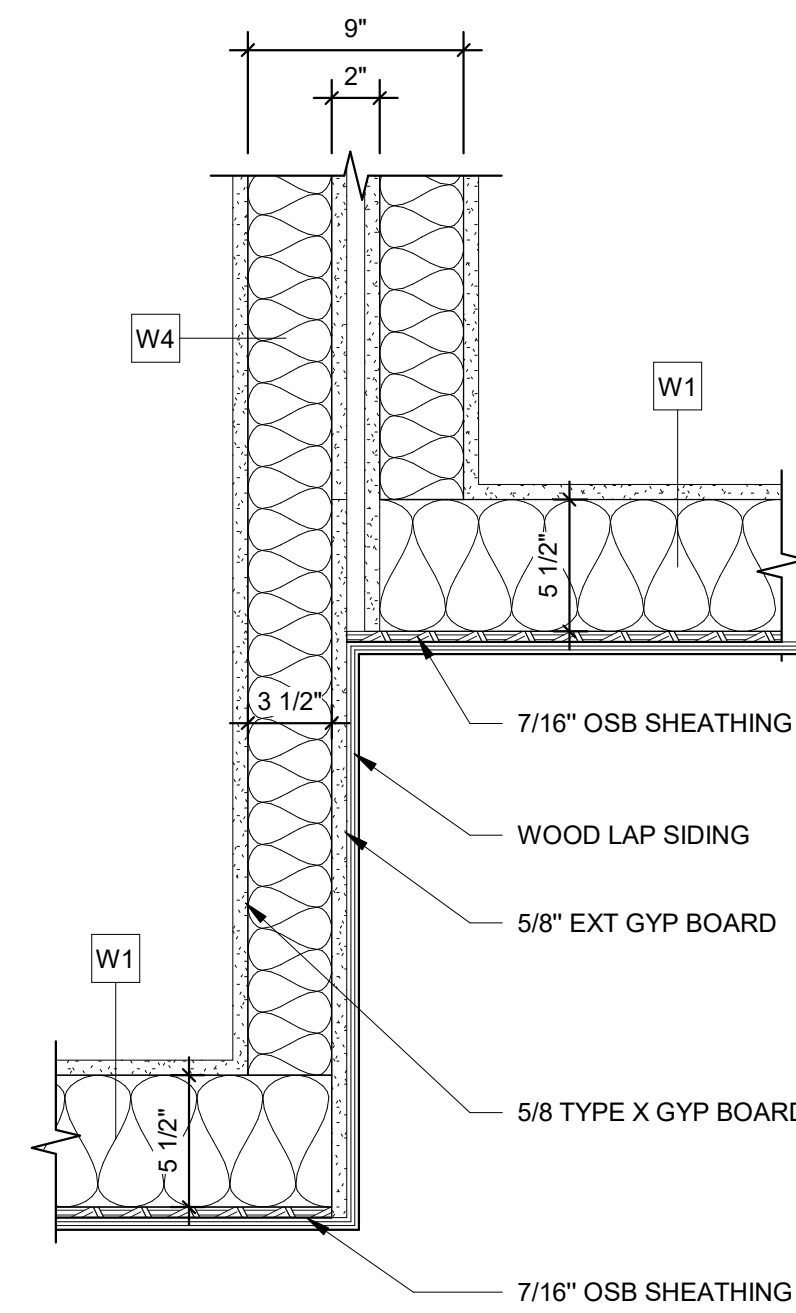
12 Parapet Cap - Brick
SCALE: 1 1/2" = 1'-0"



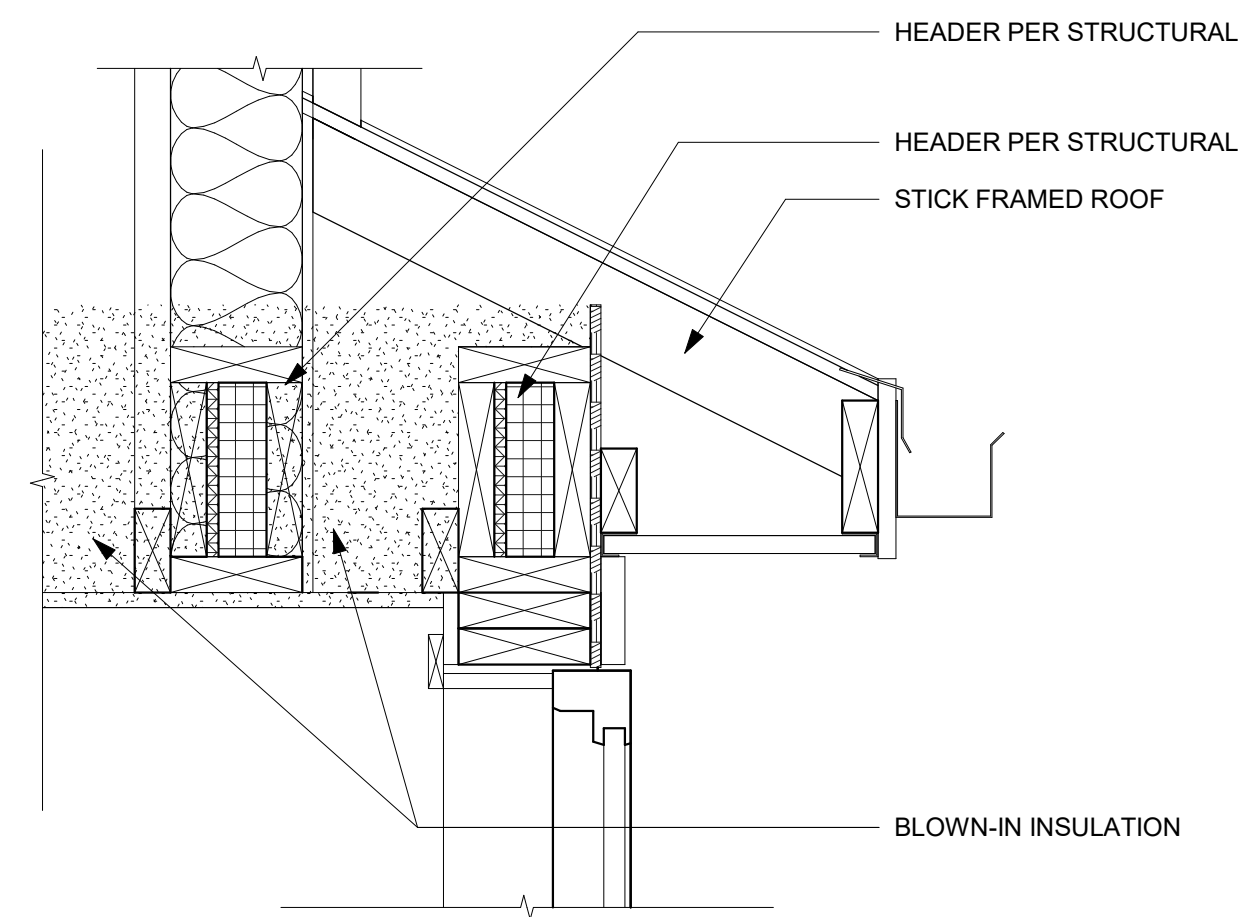
9 DETAIL
SCALE: 1 1/2" = 1'-0"



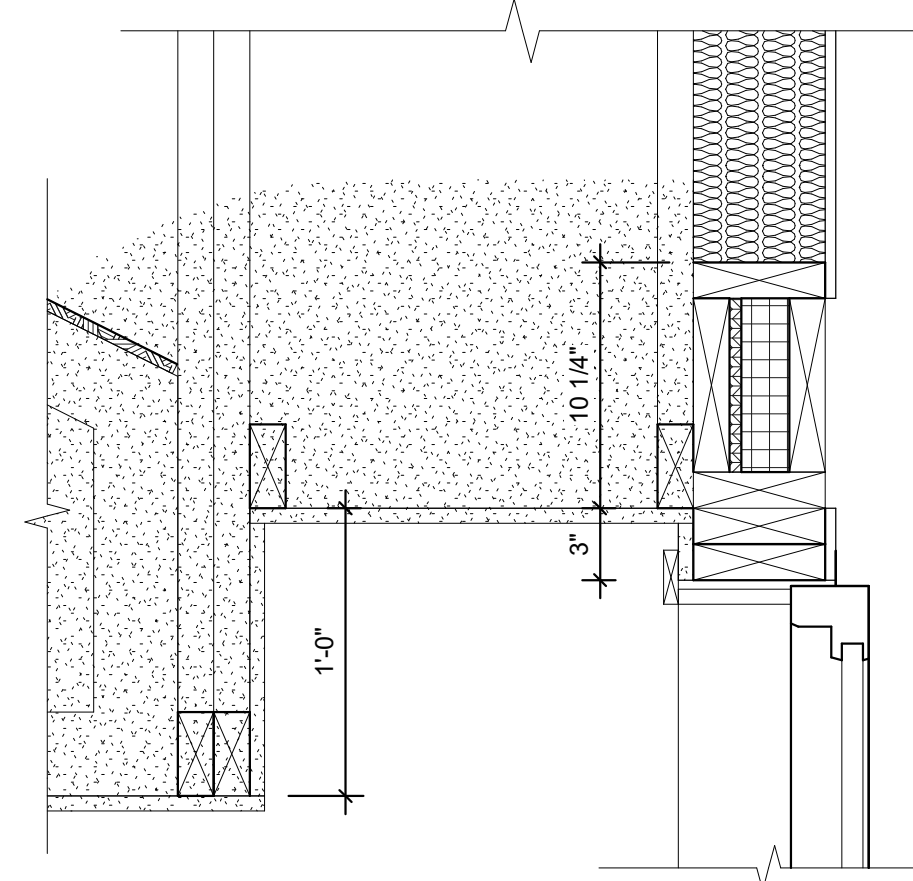
6 DETAIL
SCALE: 3" = 1'-0"



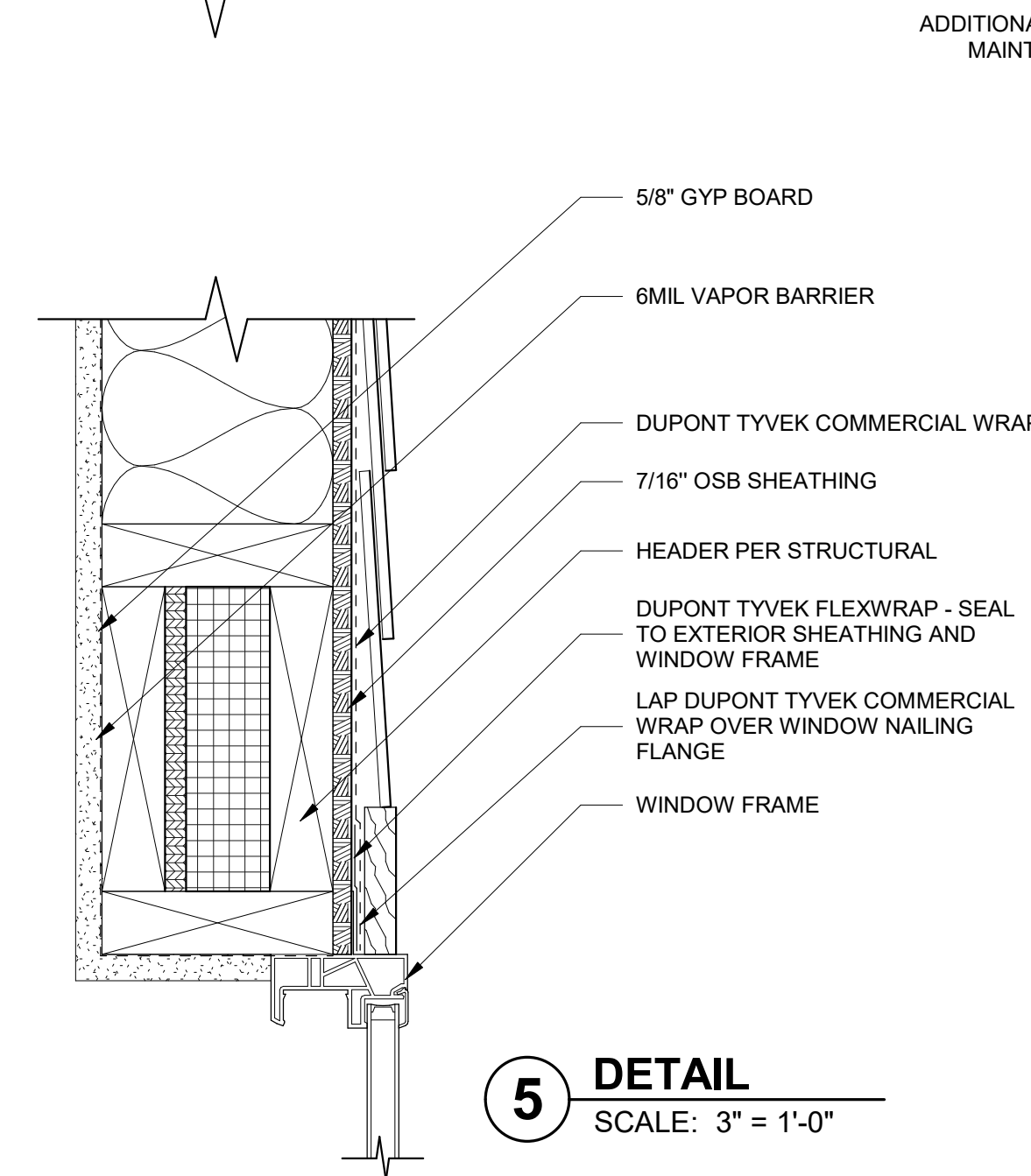
3 DETAIL
SCALE: 1 1/2" = 1'-0"



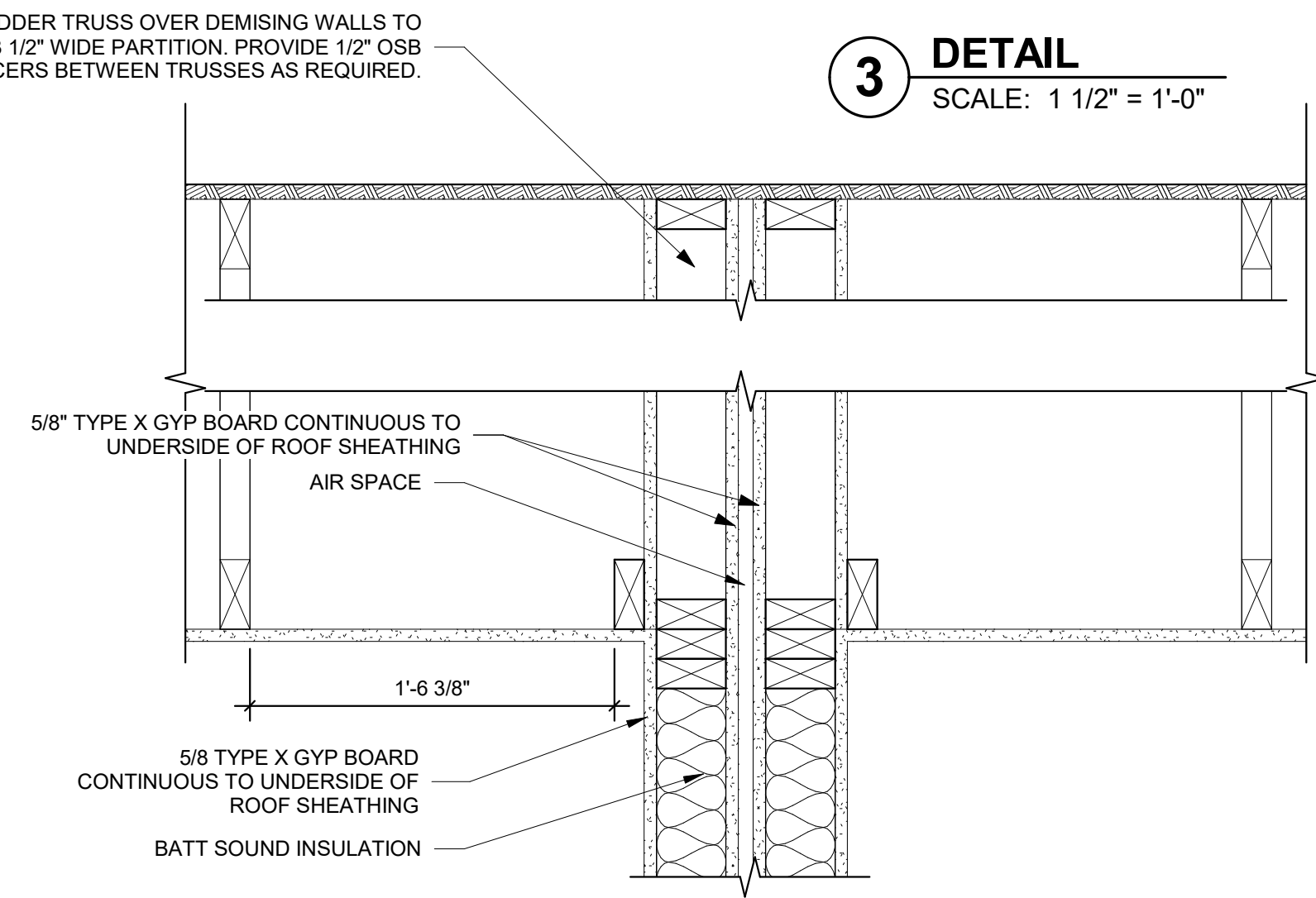
11 DETAIL
SCALE: 1 1/2" = 1'-0"



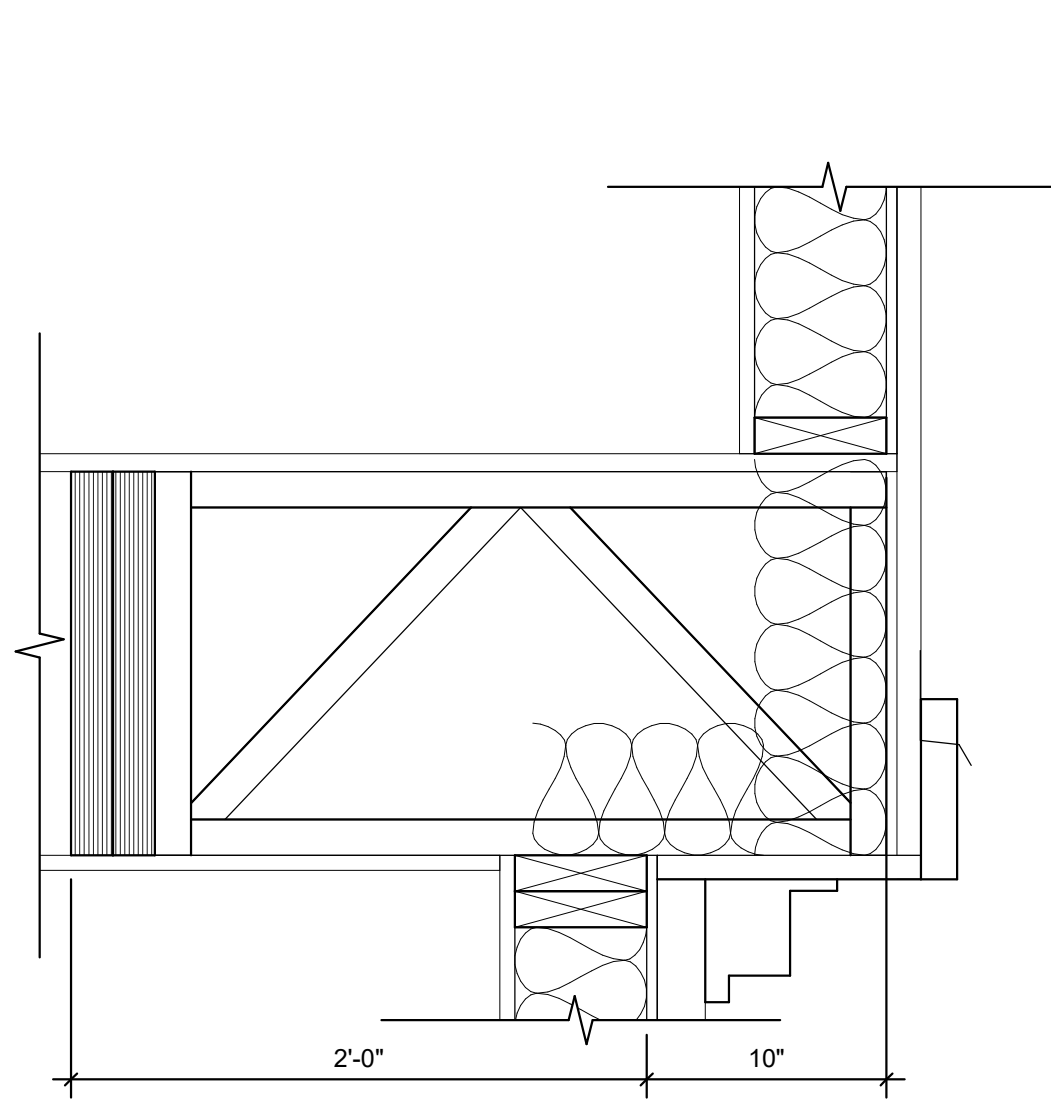
8 DETAIL
SCALE: 1 1/2" = 1'-0"



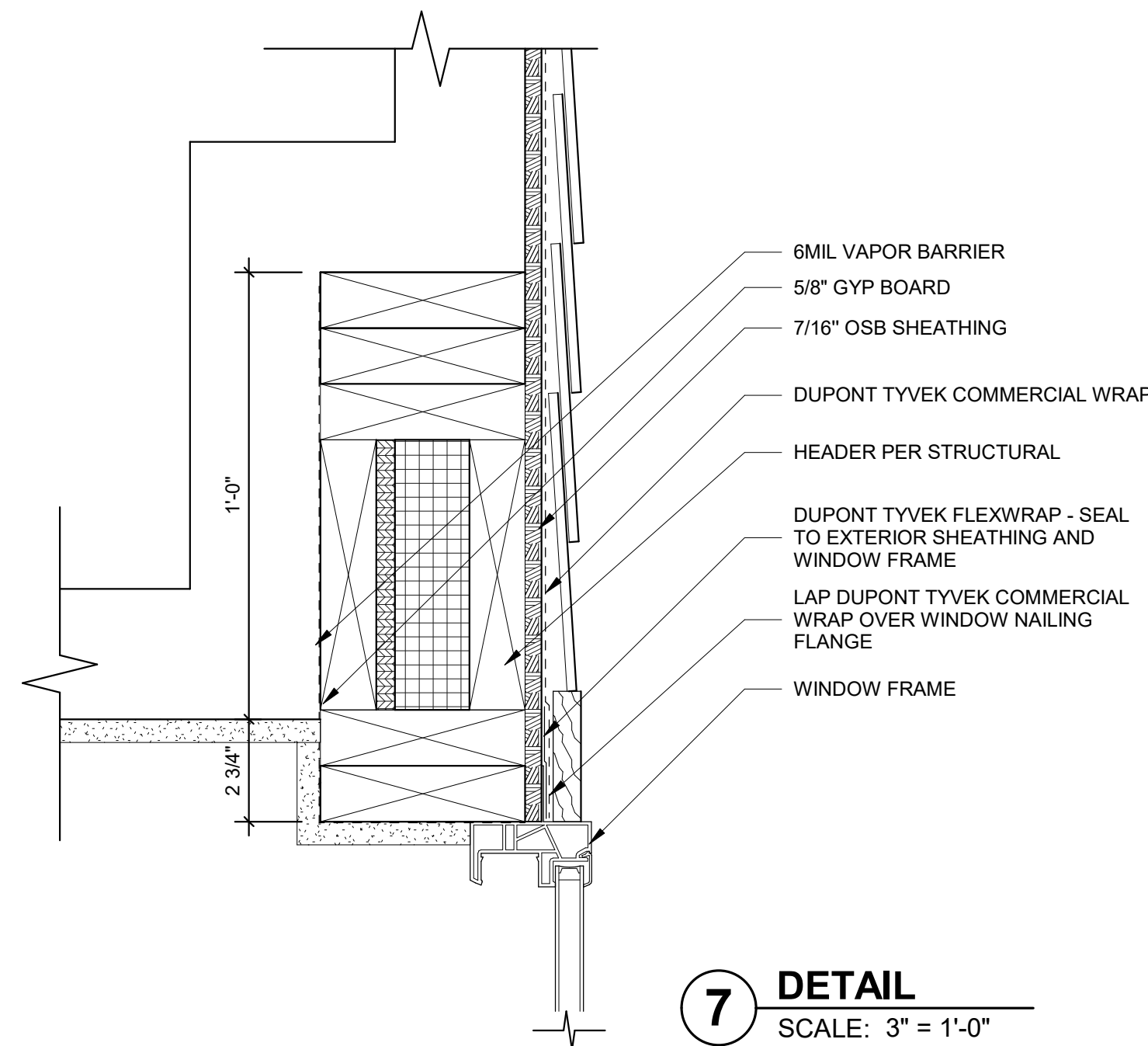
5 DETAIL
SCALE: 3" = 1'-0"



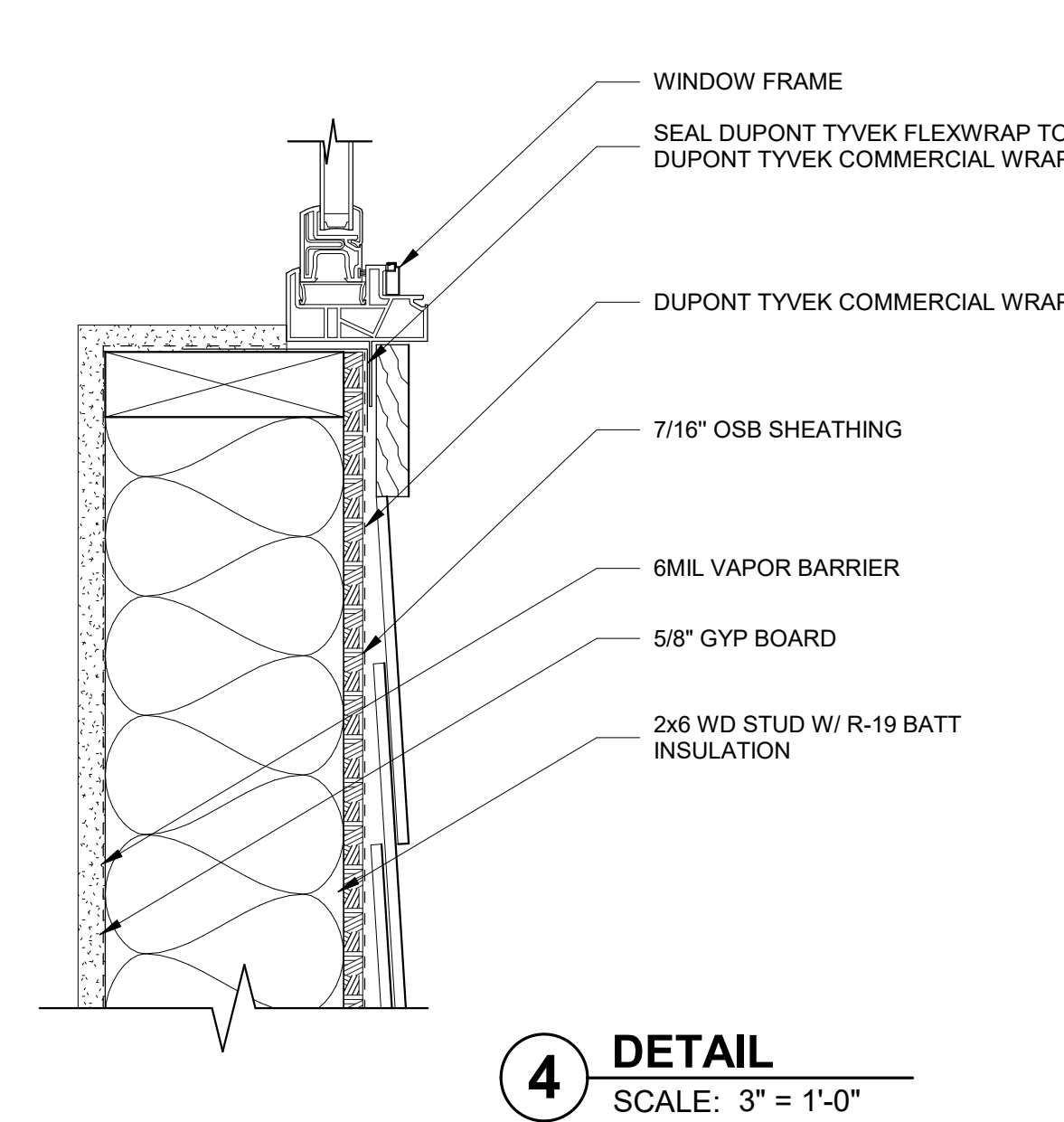
2 DETAIL
SCALE: 1 1/2" = 1'-0"



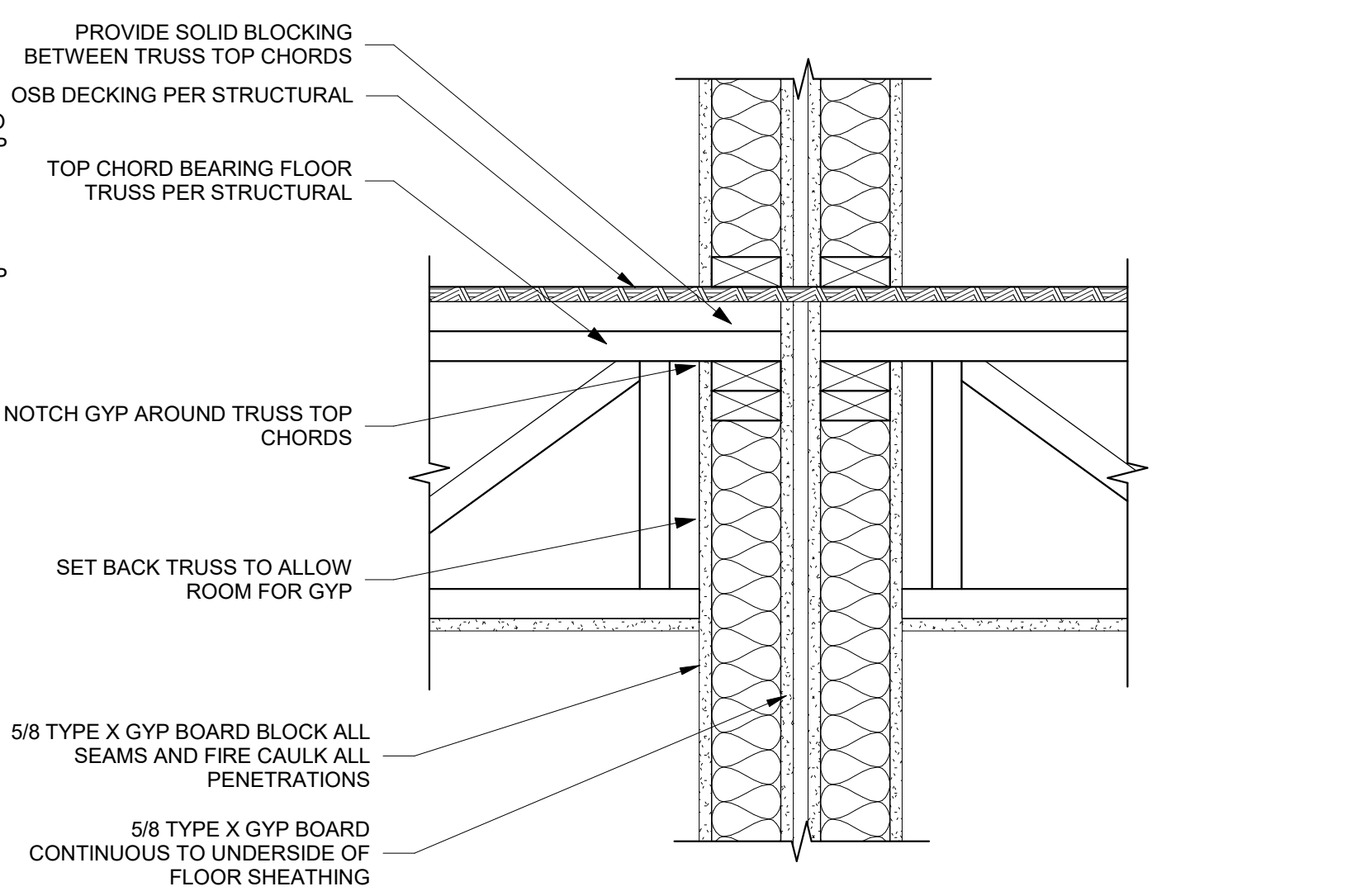
10 DETAIL
SCALE: 1 1/2" = 1'-0"



7 DETAIL
SCALE: 3" = 1'-0"



4 DETAIL
SCALE: 3" = 1'-0"



1 DETAIL
SCALE: 1 1/2" = 1'-0"